



**PUBLIC HEARING AGENDA**  
**Town Board**  
**Town of North Greenbush**  
**August 10, 2023**  
**6:30 p.m.**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

ROLL CALL:

Supervisor Bott \_\_\_\_\_  
Councilwoman Hoffman \_\_\_\_\_  
Councilman Rogers \_\_\_\_\_  
Councilwoman Merola \_\_\_\_\_  
Councilman Gordon \_\_\_\_\_

**IN THE MATTER OF THE 10% TAX EXEMPTION TO**  
**RESIDENTIAL PROPERTY FOR VOLUNTEER**  
**FIREFIGHTERS AND AMBULANCE WORKERS**

Discussion:

Adjournment:

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**LOCAL LAW #5 OF 2023 AUTHORIZING REAL PROPERTY  
TAX EXEMPTION FOR VOLUNTEER FIREFIGHTERS AND  
VOLUNTEER AMBULANCE MEMBERS IN THE TOWN OF  
NORTH GREENBUSH**

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BE IT ENACTED by the Town Board of the Town of North Greenbush (“Town”), in the County of Rensselaer, State of New York for inclusion into Chapter 169 of the Code of North Greenbush, as follows:

**Section 1. Purpose**

The state Real Property Tax Law was amended by Chapter 670 of the Laws of 2022 by the addition of a new Section 466-a providing for a ten percent (10%) partial real property tax exemption of the assessed value of the primary residence owned by a qualified enrolled member of an incorporated volunteer fire company, volunteer fire department or incorporated volunteer ambulance service that serves the Town. The intent of this Local Law is to permit the partial real property tax exemption for such qualified enrolled members of said emergency services organizations for real property taxes imposed by the town.

**Section 2. Authority**

Pursuant to Chapter 670 of the Laws of 2022 effective December 9, 2022, the state Real Property Tax Law was amended by adding a new Section 466-a authorizing local governments including towns to enact by local law, ordinance or resolution such partial tax exemption for Town real property taxes to qualified enrolled members of said emergency services organizations, following a public hearing.

**Section 3. Grant of exemption**

The primary residential real property located in the Town that is owned by an enrolled member of an incorporated volunteer fire company, volunteer fire department or incorporated volunteer ambulance service that provides services within the Town shall be exempt from taxation and assessments levied by the Town to the extent of ten percent (10%) of the assessed value of such property, exclusive of special assessments, subject to the requirements set forth in this herein.

**Section 4. Authority Having Jurisdiction**

For purposes of this Local Law the “Authority Having Jurisdiction” shall mean:

- A. In the case of a fire district, the Board of Fire Commissioners of the fire district;

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**LOCAL LAW #5 OF 2023 AUTHORIZING REAL PROPERTY  
TAX EXEMPTION FOR VOLUNTEER FIREFIGHTERS AND  
VOLUNTEER AMBULANCE MEMBERS IN THE TOWN OF  
NORTH GREENBUSH**

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- B. In the case of a contract fire department in a fire protection district, the Town Board;
- C. In the case of an incorporated voluntary ambulance service, the Town Board.

**Section 5. Eligibility**

Such exemption shall not be granted unless:

- A. The applicant resides in the Town, which is served by such incorporated volunteer fire company, volunteer fire department or incorporated voluntary ambulance services of which the applicant is a qualified enrolled member.
- B. The property is the primary residence of the applicant.
- C. The property is used exclusively for residential purposes; provided, however, that if any portion of such property is not used exclusively for the applicant's residence but is used for other purposes, such portion shall be subject to taxation and the remaining portion only shall be entitled to the exemption provided by this Local Law; and
- D. The applicant has been certified by the authority having jurisdiction for the incorporated volunteer fire company, volunteer fire department, or voluntary ambulance service as an enrolled member who has served such incorporated volunteer fire company, volunteer fire department or voluntary ambulance service for at least two (2) years; and
- E. The applicant must submit said certification from the authority having jurisdiction, or its designee, together with the tax exemption application.

**Section 6. Grant of Lifetime Exemption**

Any enrolled member of an incorporated volunteer fire company, volunteer fire department or incorporated volunteer ambulance service who accrues more than twenty years of active service, and is so certified by the authority having jurisdiction for the incorporated volunteer fire company, volunteer fire department, or incorporated voluntary ambulance service, shall be granted the ten percent (10%) exemption authorized by this Local Law for the remainder of his or her life as long as his or her primary residence is located within the county.

**Section 7. Surviving, Un-Remarried Spousal Exemption for Volunteer Firefighters or Volunteer Ambulance Workers Killed in the Line of Duty.**

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**LOCAL LAW #5 OF 2023 AUTHORIZING REAL PROPERTY  
TAX EXEMPTION FOR VOLUNTEER FIREFIGHTERS AND  
VOLUNTEER AMBULANCE MEMBERS IN THE TOWN OF  
NORTH GREENBUSH**

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The property tax exemption authorized by this Local Law and granted to an enrolled member of an incorporated volunteer fire company, volunteer fire department, or incorporated voluntary ambulance service shall, upon application, be continued to such deceased enrolled member's un-remarried spouse if such member is killed in the line of duty, provided that:

- A. Such un-remarried spouse is certified by the authority having jurisdiction for the incorporated volunteer fire company, volunteer fire department, or incorporated voluntary ambulance service as an un-remarried spouse of such enrolled member who was killed in the line of duty;
- B. Such deceased volunteer had been an enrolled member for at least five (5) years; and
- C. Such deceased volunteer had been receiving the exemption prior to his or her death.

**Section 8. Surviving Un-Remarried Spousal Exemption for Deceased Volunteer Firefighters or Volunteer Ambulance Workers with Twenty Years of Enrolled Member Service.**

The property tax exemption authorized by this Local Law and granted to an enrolled member of an incorporated volunteer fire company, volunteer fire department, or incorporated voluntary ambulance service shall, upon application, be continued to such deceased enrolled member's un-remarried spouse, provided that:

- A. Such un-remarried spouse is certified by the authority having jurisdiction for the incorporated volunteer fire company, volunteer fire department, or incorporated voluntary ambulance service as an un-remarried spouse of such enrolled member;
- B. Such deceased volunteer had been an enrolled member for at least twenty (20) years; and
- C. Such deceased volunteer and un-remarried spouse had been receiving the exemption for such property prior to the death of such volunteer.

**Section 9. Application**

An application from such exemption and a certification provided by the appropriate authority having jurisdiction shall be filed with the Assessor for the Town on or before the taxable status date of each year as otherwise required as prescribed by New York State. The Town Assessor is hereby authorized to certify eligibility provided satisfactory proof of such eligibility is submitted with the application.

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**LOCAL LAW #5 OF 2023 AUTHORIZING REAL PROPERTY  
TAX EXEMPTION FOR VOLUNTEER FIREFIGHTERS AND  
VOLUNTEER AMBULANCE MEMBERS IN THE TOWN OF  
NORTH GREENBUSH**

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**Section 10. No Diminution of Benefits.**

No applicant who is a volunteer firefighter or volunteer ambulance worker who by reason of such status is receiving any benefit under the provisions of Article 4 of the state Real Property Tax Law on the effective date of this Local Law shall suffer any diminution of such benefit because of the provisions of this local law.

**Section 11. Effective Date**

This Local Law shall take effect immediately upon filing with the Secretary of State.

**Section 12. Supersession**

This Local Law supersedes all inconsistent provisions of the Laws of the New York State Real Property Tax Law and Town Code of the Town of North Greenbush.



**Town Board**  
**Town of North Greenbush**  
**Agenda**  
**August 10, 2023, 2023**  
**7:00 p.m.**

**CALL TO ORDER**  
**PLEDGE OF ALLEGIANCE**  
**ROLL CALL**

**Supervisor Bott** \_\_\_\_\_  
**Councilwoman Hoffman** \_\_\_\_\_  
**Councilman Rogers** \_\_\_\_\_  
**Councilwoman Merola** \_\_\_\_\_  
**Councilman Gordon** \_\_\_\_\_

**Announcements:**

**Recognition of Lifeguard Chayce Moak**

**Comments from Residents:**

**New Business:**

- 1.) **Resolution 2023-08-60:** In the matter of adopting Local Law #5 of 2023, entitled Real Property Tax Exemption for Volunteer Firefighters and Volunteer Ambulance Members in the town of North Greenbush
- 2.) **Resolution 2023-08-61:** In the matter of authorizing the Supervisor to sign an agreement with A. Wheelock-Rides and Concession for the town's celebration
- 3.) **Resolution 2023-08-62:** In the matter of purchasing a Chevrolet 1500 4X4 for the Utilities (Water/Sewer) Department
- 4.) **Resolution 2023-08-63:** In the matter of approving an MOA regarding Police CBA clarification
- 5.) **Resolution 2023-08-64** In the matter of approving an MOA regarding Police Retiree Health Insurance



**Town Board**  
**Town of North Greenbush**  
**Agenda**  
**August 10, 2023, 2023**  
**7:00 p.m.**

- 6.) **Resolution 2023-08-65:** In the matter of scheduling a Public Hearing for a Sewer District Extension at 24 North Road to the North Greenbush Consolidated Sewer District

**Discussion:**

**Department Reports Review:**

**Approval of Minutes:**

July 13, 2023, meeting minutes

**Adjournment:**

At a Regular Meeting of  
the Town Board of the Town  
of North Greenbush held at 7:00  
p.m. on August 10, 2023, at the  
Town Offices

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IN THE MATTER OF ADOPTING LOCAL LAW # 5 OF 2023, ENTITLED  
REAL PROPERTY TAX EXEMPTION FOR VOLUNTEER FIREFIGHTERS  
AND VOLUNTEER AMBULANCE MEMBERS IN THE TOWN OF  
NORTH GREENBUSH

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*BE IT RESOLVED*, the Town Board of the Town of North Greenbush hereby adopts “The Real Property Tax Exemption for Volunteer Firefighters and Ambulance Members in the Town of North Greenbush” (**copy attached**) as Local Law # 5 for 2023, and it is

*FURTHER RESOLVED*, that the Town Clerk shall cause notice of the adoption of the Law to be properly posted, published, and filed with the Department of State.

**Councilperson** moved, **Councilperson** seconded, and the Town Board voted as follows:

Supervisor Bott	_____
Councilman Rogers	_____
Councilwoman Hoffman	_____
Councilwoman Merola	_____
Councilman Gordon	_____



At a Regular Meeting of  
the Town Board of the Town  
of North Greenbush held at 7:00  
P.M. on August 10, 2023, at the  
Town Offices

IN THE MATTER OF AUTHORIZING THE SUPERVISOR TO SIGN AN  
AGREEMENT WITH A. WHELOCK-RIDES AND CONCESSIONS  
FOR THE TOWN CELEBRATION WEEKEND FESTIVITIES

**WHEREAS** the Town of North Greenbush organizes a Town Celebration Weekend each year in early September for the benefit of the community; and

**WHEREAS** in addition to music, food, crafts the town also contracts with a certified vendor to supply amusement rides for enjoyment of children and their families; and

**WHEREAS** the vendor provides the town with required liability insurance and proof that the rides have been properly inspected; and

**NOW THEREFORE, BE IT RESOLVED** that upon review by the Town Attorney the Town Supervisor is authorized to sign the attachment agreement with A. Wheelock-Rides and Concessions to supply certified amusement rides during the Town Celebration

**Councilperson** moved, seconded by **Councilperson** and the Town Board voted as follows:

Supervisor Bott \_\_\_\_\_  
Councilperson Hoffman \_\_\_\_\_  
Councilperson Rogers \_\_\_\_\_  
Councilperson Merola \_\_\_\_\_  
Councilperson Gordon \_\_\_\_\_

**RESOLUTION 2023-08-61**

At a Regular Meeting of  
the Town Board of the  
Town of North  
Greenbush held at 7:00  
p.m. on August 10,  
2023 at the Town  
Offices

**IN THE MATTER PURCHASING A CHEVROLET 1500  
4X4 PICKUP FOR THE UTILITIES (WATER/SEWER)  
DEPARTMENT**

**WHEREAS**, the Town Utilities (Water and Sewer) Department requires a vehicle to use for water and sewer operations. The department staff has increased, and it is necessary to provide an adequate number of vehicles for flushing fire hydrants, removal of snow on town sidewalks and around fire hydrants and water and sewer infrastructure, maintenance of town properties as needed; and

**WHEREAS**, in accordance with Town Procurement Policy, the Town Utilities Supervisor and the Comptroller recommend the purchase of a 2018 Chevrolet 1500 4X4 pickup truck, from Greenland Enterprises, Inc., Newport News Va., at an estimated cost of \$23,600; and,

**NOW THEREFORE BE IT RESOLVED**, the Town Board hereby authorizes the purchase of the 2018 Chevrolet 1500 4X4 pick up truck at an estimated cost of \$23,600 and authorizes the Comptroller to make necessary budget adjustments to the Water and Sewer funds for this purchase.

Councilman \_\_\_\_\_ moved, Councilman \_\_\_\_\_ seconded and the  
Town Board voted as follows:

- Councilwoman Hoffman \_\_\_\_\_
- Councilwoman Merola \_\_\_\_\_
- Councilman Rogers \_\_\_\_\_
- Councilman Gordon \_\_\_\_\_
- Supervisor Bott \_\_\_\_\_

**RESOLUTION 2023-08-62**

At a Regular Meeting of  
the Town Board of the  
Town of North Greenbush  
held at 7:00 p.m. on August  
10, 2023 at the Town Offices

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IN THE MATTER OF APPROVING AN MOA  
REGARDING POLICE CBA CLARIFICATIONS

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WHEREAS, The Town of North Greenbush and North Greenbush Police Benevolent Association are parties to a collective bargaining agreement that will expire December 31<sup>st</sup>, 2025; and

WHEREAS, numerous provisions of that agreement were found to need clarification due to vague language.

NOW, THEREFORE, BE IT RESOLVED, that the Supervisor is hereby authorized to execute the attached Memorandum of Agreement between the Town of North Greenbush and the North Greenbush Police Benevolent Association.

Councilperson \_\_\_\_\_ moved, Councilperson \_\_\_\_\_  
seconded and the Town Board voted as follows:

Councilwoman Hoffman	_____
Councilwoman Merola	_____
Councilwoman Rogers	_____
Councilman Gordon	_____
Supervisor Bott	_____

**RESOLUTION 2023-08-63**

2023

**Contract Clarifications**

**MEMORANDUM OF AGREEMENT**

This Memorandum of Agreement (MOA) is between the Town of North Greenbush, hereinafter referred to as the “Town” and the North Greenbush Police Benevolent Association, hereinafter referred to as the “Union”.

WHEREAS, the Town and Union are parties to a Collective Bargaining Agreement (the “CBA”) concerning the terms and conditions of employment of Town employees in the titles of full-time police sergeant, full-time and part-time police officer and full-time and part-time dispatchers; and

WHEREAS, said CBA will expire on December 31, 2025; and

WHEREAS, upon ratification, this MOA will be in effect retroactively to January 1<sup>st</sup>, 2023; and

NOW THEREFORE, the Town and the Union wish to clarify certain CBA language and agree as follow:.

**New Subsection of Article X, Section D(2)- Overtime**

*“e. Upon separation, an employee will receive payment for any balance of compensatory time at the employee’s regular hourly rate as of the date of separation.”*

**New Subsection of Article XII, Section D- Holidays**

*“D. Upon separation, an employee will be compensated for any eligible holidays either worked or not worked up to the date of their separation in accordance with Section A(3) or B(3), as appropriate.”*

**New language in Article XIV, Section B- Personal Leave**

*“All full-time employees shall be entitled to personal leave. Personal leave requires the giving of twenty-four (24) hours’ notice to the Chief of Police except that such twenty-four (24) hours’ notice need not be given in an emergency. Each full-time employee shall receive forty-eight (48) hours personal leave per calendar year calculated from date of employment. Employees do not accrue or carry over personal leave from one anniversary year to the next. Upon separation, an employee is not entitled to a cash out of any remaining balance of personal leave hours.”*

**New language in Article XIV, Section F(7)- Sick Leave Incentive**

“Any full time employee who does not use sick leave during any given quarter of the year will receive a payment of \$125.00. An employee out on GML §207-c status will have this sick leave incentive prorated, as appropriate. *To be eligible, an employee must have been employed throughout the entirety of the quarter.*”

**New language in Subsection of Article XVII, Section C- Uniform Allowance**

“*Uniform allowance is compensation for the current calendar year in which it is paid.* Disbursement of funds on dates listed below by voucher. Any employee leaving the Town prior to December 31 shall reimburse the Town the prorated amount of the *remaining portion of the yearly allowance.* This amount will be withheld from the employee’s final paycheck.”

**New paragraph to Article XVIII, Section A- Compulsory Courses**

“Any member attending a compulsory course, approved by the Chief, that requires overnight lodging will be entitled to a \$25.00/ day reimbursement per diem for meal expenses. The member must submit receipts within 14 calendar days of the end of the training to receive the reimbursement.”

**Language change to Article XVIII, Section C, paragraph 2- College and Incentive Program**

“Special Pays shall be paid to the eligible employee upon submission of a voucher and justification through *payroll.*”

**New language in Subsection of Article XVIII, Section C(3)- Special Pays**

“The above special pays shall be paid on the first Wednesday in June of each year. *Any employee leaving the Town prior to December 31 shall reimburse the Town for the prorated amount for the remaining portion of the yearly allowance. This amount will be withheld from the employee’s final paycheck.*”

**New language in Subsection of Schedule A- Longevity**

“2. Longevity benefits for all eligible employees of the bargaining unit will be paid *annually*, through payroll, following the completion of the payroll period immediately following the employees’ anniversary date. *Any employee leaving the Town shall be entitled to a pro-rated*

*amount of their current Longevity step, based on the amount of time worked since their last anniversary.*

**New Article XXV- Separation**

“Upon separating from employment, either through resignation or retirement, an employee is entitled to compensation for the following leaves and incentives:

Compensatory Time- Cashed out pursuant to Article X, Section D(2e)

Holiday Pay- Upon separation, an employee will be cashed out pursuant to Article XII, Section D

Vacation Leave- Cashed out pursuant to Article XIII, Section F at the member’s regular hourly rate as of the date of separation.

Personal Leave- Upon separation, an employee will not be entitled to any compensation for a Personal Leave balance, pursuant to Article XIV, Section B.

Sick Leave- Cashed out pursuant to Article XIV, Section F(5) or F(6), as eligible. If separation occurs under Section F(5), the rate used will be the member’s regular hourly rate as of the date of separation.

Uniform Allowance- Employee will refund the Town any due funds pursuant to Article XVII, Section C.

Special Pays- Employee will refund the Town any due funds pursuant to Article XVIII, Section C(3).

Longevity- Employee will be cashed out pursuant to Schedule A- Longevity, Section 2.

Pursuant to Taylor law, the Town reserves the right to bring this MOA to the Town Board for ratification and final approval, and the Union reserves the right to bring this MOA to its membership for ratification and final approval.

This Memorandum of Agreement constitutes the entire understanding between the Town and Union as to the provisions of clarifications to the existing language of the current CBA.

Town of North Greenbush

North Greenbush PBA

\_\_\_\_\_

\_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

At a Regular Meeting of  
the Town Board of the  
Town of North Greenbush  
held at 7:00 p.m. on August  
10, 2023 at the Town Offices

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IN THE MATTER OF APPROVING AN MOA  
REGARDING POLICE RETIREE HEALTH INSURANCE

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WHEREAS, The Town of North Greenbush and North Greenbush Police Benevolent Association are parties to a collective bargaining agreement that will expire December 31<sup>st</sup>, 2025; and

WHEREAS, both parties wish to amend certain sections of that agreement as they relate to the terms and conditions of health insurance coverage for full-time employees who retire from the North Greenbush Police Department.

NOW, THEREFORE, BE IT RESOLVED, that the Supervisor is hereby authorized to execute the attached Memorandum of Agreement between the Town of North Greenbush and the North Greenbush Police Benevolent Association.

Councilperson \_\_\_\_\_ moved, Councilperson \_\_\_\_\_  
seconded and the Town Board voted as follows:

Councilwoman Hoffman	_____
Councilwoman Merola	_____
Councilwoman Rogers	_____
Councilman Gordon	_____
Supervisor Bott	_____

**RESOLUTION 2023-08-64**

2023

**Retiree Health Insurance**

**MEMORANDUM OF AGREEMENT**

This Memorandum of Agreement (MOA) is between the Town of North Greenbush, hereinafter referred to as the “Town” and the North Greenbush Police Benevolent Association, hereinafter referred to as the “Union”.

WHEREAS, the Town and Union are parties to a Collective Bargaining Agreement (the “CBA”) concerning the terms and conditions of employment of Town employees in the titles of full-time police sergeant, full-time and part-time police officer and full-time and part-time dispatchers; and

WHEREAS, said CBA will expire on December 31, 2025; and

WHEREAS, upon ratification, this MOA will be in effect retroactively to January 1<sup>st</sup>, 2023; and

WHEREAS, the Town and the Union wish to enter into an agreement with regard to the terms and conditions of health insurance coverage for full-time employees who retire from the North Greenbush Police Department.

NOW THEREFORE, in consideration of the mutual covenants herein, the Town and Union agree as follows:

1. Article XV, Section F is to be titled “Retiree Health Insurance” and will have two subsections.
2. The current paragraph in Article XV, Section F of the CBA will be titled Section F(1).
3. The conditions in this Agreement will become Article XV, Section F(2).
4. Article XIV, Section 6 will be amended to reflect the new option listed in Article XV, Section F(2).
5. It is agreed that the contributions indicated on the Vision and Dental Contributions 2023 Memorandum of Agreement, ratified on June 8<sup>th</sup>, 2023, will remain in effect and are unchanged by anything in this agreement.

**Language change to Article XIV, Section (6)**

“Upon retirement, the employee shall have the option to use one-half (1/2) of accumulated sick leave up to 155 days at that time as a cash payment OR *leave the accumulated sick leave with the Town for use under Article XV, Section F.* Dividing the gross amount of biweekly pay at the time of retirement by ten will determine the sick leave day rate.



**New Article XV, Section F(2)**

Any retired member who meets the criteria in Section F(1) of this Article will be entitled to exercising either option listed in Article XIV, Section 6.

A retiree who elects to leave the full balance of their sick time with the Town has the option of enrolling in the Town's Health Insurance plan immediately or may defer enrollment without the loss of any part of the calculated value of that time.

A retiree who chooses to defer enrollment will receive a portion of their sick time balance each year until the balance is exhausted or the member enrolls in the Town's Health Insurance plan. The annual payment will be whatever the employee contribution amount would have been for a Single Plan, per the terms of the CBA in effect at the time of their retirement. A retiree that chooses to enroll mid-year will not receive any payment for that year.

This payment will be made on the first Wednesday of December and will be for completion of each calendar year that the retiree was not enrolled in the Town's Health Insurance plan until their sick bank is exhausted.

Regardless of which option listed in Article XIV, Section 6 a retiree chose, they will retain the option of enrolling in the Town's Health Insurance plan provided the insurance carrier agrees that they meet the necessary criteria. Contribution rates will be dictated by the terms of the CBA in effect at the time of such enrollment, not what was in effect at the time of the member's retirement.

Upon exhaustion of the sick time balance or if the retiree chose the cash out option, the retiree would be responsible for making a monthly payment to the Town for their contribution which will be the same employee contribution as active members in accordance with Article XV (B) of the CBA in effect at the time the retiree enrolls.

Pursuant to Taylor law, the Town reserves the right to bring this MOA to the Town Board for ratification and final approval, and the Union reserves the right to bring this MOA to its membership for ratification and final approval.

This Memorandum of Agreement constitutes the entire understanding between the Town and Union as to the provision of Retiree Health Insurance.

Town of North Greenbush

North Greenbush PBA

\_\_\_\_\_

\_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

## “Resolution to Set Public Hearing”

RESOLUTION OF THE TOWN BOARD FOR THE TOWN OF NORTH GREENBUSH IN THE MATTER OF HOLDING A PUBLIC HEARING TO CONSIDER THE PETITION FOR THE ESTABLISHMENT OF THE PROPOSED 24 NORTH RD (TAX MAP #123.14-3-5) SEWER DISTRICT EXTENSION OF THE NORTH GREENBUSH CONSOLIDATED SEWER DISTRICT

At a meeting of the Town Board held at the Town Offices at 2 Douglas Street, Wynantskill, NY 12198, in the Town of North Greenbush, Rensselaer County, New York on **August 10, 2023**.

Present: Joseph Bott, Supervisor  
Jack Rogers, Councilman  
Kelly Hoffman, Councilwoman  
James Gordon, Councilwoman  
Jessica Merola, Councilwoman

In the matter of Petition of the owner(s) of more than one-half of the assessed valuation of all the taxable real property of the proposed 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush Consolidated Sewer District in the Town of North Greenbush, County of Rensselaer, State of New York, and according to the latest completed assessment roll of the said Town for the proposed 24 NORTH ROAD SEWER DISTRICT EXTENSION of North Greenbush Consolidated Sewer District in the Town of North Greenbush.

WHEREAS, a written request signed and acknowledged by the sole property owners within the proposed 24 NORTH ROAD SEWER DISTRICT EXTENSION of North Greenbush Consolidated Sewer District in the Town of North Greenbush, has been presented to and filed with the Town Board of the Town of North Greenbush praying that said district extension be established and which is more particularly bounded as described in Exhibit “A” – Legal Description and Map No. 1 – Boundary Map attached hereto to be 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush Consolidated Sewer District in the Town of North Greenbush and

WHEREAS, the improvement proposed in said Sewer district extension consists of the construction of Sewer main and appurtenances as required.

WHEREAS, the overall maximum amount proposed to be expended for the establishment of said Sewer district extension and the construction therein of said Sewer system, including the cost of land and rights in lands, is estimated to be approximately seventeen-thousand, three-hundred ten dollars (\$17,300.00), and

WHEREAS, the cost of the construction of the said proposed Sewer district shall be paid entirely by the petitioners, as stated in "Exhibit A"

WHEREAS, the petitioners shall pay for all expenses incurred by the Town of North Greenbush in the proceedings to create the boundaries of the 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush. Such expenses are estimated to be approximately two-thousand one-hundred dollars (\$2,100) and shall include application fees, and

WHEREAS, the maximum amount proposed to be expended for said extension by the Town of North Greenbush is ZERO DOLLARS (\$0.00) with the exception of the publication of a legal notice, and

WHEREAS, all expenses occasioned by the establishment and construction of the 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush Consolidated Sewer District in the Town of North Greenbush shall be paid by the petitioners.

WHEREAS, said petitioners further agree to pay their fair share of future costs for the 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush Consolidated Sewer District in the Town of North Greenbush, which will include debt service, Sewer usage costs and the annual operation and maintenance charges paid to the Town of North Greenbush, and which are estimated to be \$327.02. There is currently no debt service.

NOW, on motion of \_\_\_\_\_, seconded by \_\_\_\_\_, all members present voting on roll call, which resulted as follows:

AYES:

NAYS:

ABSENT:

IT IS ORDERED, that the Town Board of the Town of North Greenbush shall hold a public hearing to be held at the Town Offices located at 2 Douglas Street, Wynantskill, NY 12198, in the Town of North Greenbush on **September 14, 2023 at 6:45 p.m.**, to consider the said Petition and to hear all persons interested in the subject thereof concerning the same, and for such other action on the part of the Town Board with relation to said Petition as may be required by law, and it is

FURTHER ORDERED, that the Town Clerk give notice of such hearing by publishing, on or before **August 31, 2023**, in the Town's official newspaper, The Record, a certified copy of this Order and by posting a certified copy of this Order on the signboard of the Town of North Greenbush not less than ten or more than twenty days before such hearing.

**RESOLUTION 2023-08-65**

**24 NORTH ROAD (TAX MAP #123.14-3-5)**

**SEWER DISTRICT EXTENSION**

**OF THE NORTH GREENBUSH CONSOLIDATED SEWER DISTRICT**

**Petition**

**PETITION FOR ESTABLISHMENT OF**

**24 NORTH ROAD (TAX MAP #123.14-3-5)**

**SEWER DISTRICT EXTENSION**

**OF THE NORTH GREENBUSH CONSOLIDATED SEWER DISTRICT**

**IN THE TOWN OF NORTH GREENBUSH,**

**RENSSELAER COUNTY, NEW YORK**

**TO THE TOWN BOARD OF THE TOWN OF NORTH GREENBUSH:**

We, the undersigned, being the owner(s) of the taxable real property situate in the proposed extension of North Greenbush consolidated Sewer district in the Town of North Greenbush, hereinafter more fully described, according, to the latest completed assessment roll, do hereby petition your Honorable Board, to establish the 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush in the territory hereinafter described, which is located in your Town of North Greenbush, Rensselaer County, New York, outside of any incorporated village and wholly within the said Town of North Greenbush, and to provide for the construction thereof a Sewer system in accordance with the maps and plans hereto annexed.

Your petitioner's request that the established of such Sewer district extension to include the area described in **Exhibit "A" – Legal Description** attached hereto and made a part thereof.

Attached hereto is **Map No. 1 – Boundary Map** showing the boundaries of the proposed 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush and **Map Plan & Report** attached hereto, prepared by Stephen T. Dean, P.E., P.C.

The petitioners shall pay for all expenses incurred by the Town of North Greenbush in the proceedings to create the boundaries of the 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush. Such expenses are estimated to be approximately two-thousand one-hundred dollars (\$2,100) and shall include application fees.

The estimated maximum cost of the construction of the said 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush is estimated at approximately seventeen thousand, three-hundred dollars (\$17,300.00) and shall be paid entirely by the petitioner listed on 'Exhibit A'.

The cost of the construction of the said 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush to the Town of North Greenbush shall be zero dollars (\$0.00).

The said petitioners further agree to provide or obtain whatever easements are necessary for the construction of the proposed 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush and to dedicate such easements and the Sewer facilities constructed to the Town of North Greenbush if required by the Town of North Greenbush Utilities Department.

Upon completion, 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush facilities shall be operated and maintained by the Town of North Greenbush Utilities Department in the future with the exception of the individual building Sewer lateral; said building Sewer lateral shall be maintained by the property owners.

The said petitioners further agree to obtain a Sewer permit and install a Sewer lateral as per the requirements of the Town of North Greenbush for each connection to the Sewer system.

Said petitioners further agree and to cause the future property owners within said 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush to pay their fair share of future costs for the 24 NORTH ROAD (TAX MAP # 123.14-3-5) SEWER DISTRICT EXTENSION of North Greenbush consolidated Sewer district in the Town of North Greenbush which could include,

but not limited to, water usage costs, debt service costs, if any along with the annual operation and maintenance charges paid to the Town of North Greenbush & the County of Rensselaer and which are estimated to be \$327.02.

Dated: July 7, 2023

# **Exhibit “A”**

**Town of North Greenbush**

**Rensselaer County, New York**

**24 NORTH ROAD (TAX MAP #123.14-3-5)**

**SEWER DISTRICT EXTENSION**

**OF THE NORTH GREENBUSH CONSOLIDATED SEWER DISTRICT**

## **Legal Description**

**Date: August 10, 2023**

**All that certain piece or parcels of land**, lying and being in the Town of North Greenbush, County of Rensselaer, State of New York, more particularly bounded and described as follows:

Parcels ID#: 123.14-3-5 24 North Road, Troy  
owned by Charles Erickson  
consisting of .69 acres

As shown on the Town of North Greenbush Tax Rolls.

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project: 24 North Road Sewer District Extension				
Project Location (describe, and attach a location map): 24 North Road, North Greenbush, New York				
Brief Description of Proposed Action: Applicant proposes a sewer district extension for a single house along North Road				
Name of Applicant or Sponsor: Mr, Charles Erickson		Telephone: (518) 527-3867 E-Mail: Steve@sdeanpe.com		
Address: 24 North Road				
City/PO: Troy		State: NY	Zip Code: 12180	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: North Greenbush Town Board - Sewer District Extension			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.70 acres b. Total acreage to be physically disturbed? _____ 0.01 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.70 acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				



5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Sewer district extension _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Eric Westfall</u> Date: <u>08/10/23</u>  Signature: <u>Eric Westfall</u> Title: <u>Town Engineer</u>		

**Exhibit "A"**

**Town of North Greenbush**

**Rensselaer County, New York**

**NORTH ROAD DISTRICT EXTENSION**

**OF THE 24 NORTH ROAD AND TAX MAP #123.-14-3-5 SEWER DISTRICT  
EXTENSION GREENBUSH CONSOLIDATED SEWER DISTRICT**

**Legal Description**

**Date: August 10, 2023**

All that certain piece or parcels of land, lying and being in the Town of North Greenbush, County of Rensselaer, State of New York, more particularly bounded and described as follows:

Parcels ID#: 123.14-3-5 24 North Road, Troy  
owned by Charles Erickson  
consisting of .69 acres

**All as shown on the Town of North Greenbush Tax Rolls.**

Stephen T. Dean, P.E., P.C.

Consulting Engineer

165 Akin Road, Johnsonville, NY 12094

PH (518) 527-3867

MAP PLAN AND REPORT

24 NORTH ROAD TAX MAP #123.14-3-5  
SEWER DISTRICT EXTENSION  
OF THE NORTH GREENBUSH CONSOLIDATED SEWER  
DISTRICT

*Prepared for:*

The Town of North Greenbush

*On behalf of:*

Mr. Charles Erickson - 24 North Road  
Town of North Greenbush, New York

Date: July 21, 2023

• email: [steve@sdeanpe.com](mailto:steve@sdeanpe.com) •

**Stephen T. Dean, P.E., P.C.**

*24 North Road – Town of North Greenbush  
July 22, 2023  
Page 1*

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III. WASTEWATER PROJECTIONS ..... 2

IV. PROPOSED IMPROVEMENTS..... 3

V. REGULATORY APPROVALS ..... 3

VI. HIGH-LEVEL CONCEPTUAL COST ESTIMATE ..... 4

VII. OWNERSHIP, OPERATION AND MAINTENANCE..... 5

VIII. HOMEOWNER’S COST OF USE ..... 5

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## **Stephen T. Dean, P.E., P.C.**

*24 North Road - Town of North Greenbush  
July 22, 2023  
Page 2*

### ***I. INTRODUCTION***

Mr. Charles Erickson, an existing resident of 24 North Road, having tax map parcel number 123.14-3-5, is actively seeking connection to the Town of North Greenbush Sewer District. The site location is identified by the tax parcel map of Exhibit A.

### ***II. STUDY AREA DESCRIPTION***

#### ***A. LOCATION***

The aforementioned property is located along North Road, and is identified in Exhibit A.

#### ***B. TOPOGRAPHY***

Site topography ranges approximately from 458 feet above sea level to 444 feet above sea level at approximate final grade above gravity sewer.

#### ***C. LAND USE AND ZONING***

The site being studied is in a residential neighborhood Zoned R-1.

#### ***D. EXISTING SEWER FACILITIES***

The site is located along the sewer line located on Winter Street Extension. The Town Wide Consolidated Sewer District is served by the Rensselaer County Sewer District No. 1, which provides overall wastewater treatment. Permission from the Town of North Greenbush to connect to the sewer trunk line shall be the responsibility of the property owner and in accordance with the Town's requirements.

### ***III. WASTEWATER PROJECTIONS***

The residence was constructed in the 1950's. The residence is primarily served by an on-site residential wastewater treatment system, presumably in compliance with NYSDoH Appendix 75-A. NYSDoH Appendix 75-A prescribes 150 gallons/day/bedroom for homes equipped with pre-1980 plumbing fixtures. The residence is a two (2) bedroom dwelling and will therefore contribute 300 gallons per day to the sewer system. Total wastewater contribution from this extension project, in total, is expected to be 300 gallons per day. This minimal

## Stephen T. Dean, P.E., P.C.

24 North Road – Town of North Greenbush  
July 22, 2023  
Page 3

loading contribution is expected to be handled by the Rensselaer County Sewer District #1.

### IV. PROPOSED IMPROVEMENTS - GENERAL

The residence at 24 North Road has an existing on-site residential wastewater treatment system. The residence is proposing to connect to the existing sewer main on North Road, as described below. The sewer connection shall be gravity unless otherwise determined as part of sub-surface investigations or at the Town of North Greenbush 's direction. Details for both gravity-based distribution as well as the use of a grinder pump are provided in this MPR. *Please note this MPR does not prescribe the actual route or methods of crossing, as this will be a joint determination between the town of North Greenbush and the Owner's excavation contractor, prior to construction.*

The existing on-site wastewater treatment system shall be carefully taken out of service and coordinated with the new installation of the sewer lateral to the trunk sewer on North Road. The existing septic tank shall be demolished and backfilled unless the installing contractor can retrofit the existing septic tank to house the proposed grinder pump assembly, if necessary. This will be determined by the excavation contractor on-site during construction. The existing absorption field shall be capped and terminated.

Wastewater from this residence shall be directed to the sanitary manhole along the north side of North Road, at the Town's direction. Although the final elevations of the sewer manhole are unknown and cannot be determined based on existing mapping, it is reasonably expected that the residence at 24 North Road will rely on gravity to adequately disperse wastewater to the manhole. However, this report will include provisions for a grinder pump system in the event this becomes necessary. A backflow prevention valve shall be installed in line with each sewer lateral. Capped clean out pipes to grade shall be installed at sewer pipe turns. See the site plan of Exhibit C for details on the arrangement. Note that actual sewer pipe sizing, depths, or as-built locations were not mapped or made available for design purposes.

### V. REGULATORY APPROVALS

The proposed project will require the following agency reviews and approvals:

- Town of North Greenbush Town Board – Sewer District Extension
- Town of North Greenbush – Sewer Permit
- Town of North Greenbush-Highway Permit

## Stephen T. Dean, P.E., P.C.

24 North Road - Town of North Greenbush

July 22, 2023

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### VI. HIGH-LEVEL CONCEPTUAL COST ESTIMATE

#### WITH GRINDER PUMP

ITEM DESCRIPTION	QUANTITY	PER UNIT COST		TOTAL ROUGH-COST ESTIMATE
		INC. LABOR	UNT	
SEPTIC TANK DEMO	1	\$ 600.00	PER TANK	\$ 600.00
CAP AND TERMINATE FIELD	1	\$ 650.00	PER FIELD	\$ 650.00
PVC PIPE SCH 40	150	\$ 25.00	\$/FOOT	\$ 3,750.00
GRINDER PUMP AND CHAMBER	1	\$ 5,400.00	PER INSTALL	\$ 5,400.00
ROAD CROSSING	1	\$ 2,600.00	PER CROSSING	\$ 2,600.00
MANHOLE CONNECTION	1	\$ 450.00	PER MH	\$ 450.00
ENGINEERING FEES	1	\$ 1,500.00	PER RESIDENCE	\$ 1,500.00
TOWN APPLICATION	1	\$ 2,200.00	PER RESIDENCE	\$ 2,200.00
HIGHWAY PERMIT FEE	1	\$ 100.00	PER RESIDENCE	\$ 100.00
HOUSE SEWER PERMIT FEE	1	\$ 50.00	PER RESIDENCE	\$ 50.00
<b>TOTAL ROUGH COST ESTIMATE</b>				<b>\$ 17,300.00</b>

#### WITHOUT GRINDER PUMP (GRAVITY)

ITEM DESCRIPTION	QUANTITY	PER UNIT COST		TOTAL ROUGH-COST ESTIMATE
		INC. LABOR	UNT	
SEPTIC TANK DEMO	1	\$ 600.00	PER TANK	\$ 600.00
CAP AND TERMINATE FIELD	1	\$ 650.00	PER FIELD	\$ 650.00
PVC PIPE SCH 40	150	\$ 25.00	\$/FOOT	\$ 3,750.00
ROAD CROSSING	1	\$ 2,600.00	PER CROSSING	\$ 2,600.00
MANHOLE CONNECTION	1	\$ 450.00	PER MH	\$ 450.00
ENGINEERING FEES	1	\$ 1,500.00	PER RESIDENCE	\$ 1,500.00
TOWN APPLICATION	1	\$ 2,200.00	PER RESIDENCE	\$ 2,200.00
HIGHWAY PERMIT FEE	1	\$ 100.00	PER RESIDENCE	\$ 100.00
HOUSE SEWER PERMIT FEE	1	\$ 50.00	PER RESIDENCE	\$ 50.00
<b>TOTAL ROUGH COST ESTIMATE</b>				<b>\$ 11,900.00</b>

The total cost shall be approximately \$11,900.00 in consideration of a gravity-based distribution installation, and approximately \$17,300.00 in consideration of a pump distribution system.

The cost of this project shall be borne entirely by the homeowner.



**Stephen T. Dean, P.E., P.C.**

24 North Road – Town of North Greenbush

July 22, 2023

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## **VII. OWNERSHIP, OPERATION AND MAINTENANCE**

The proposed sewer lateral installation (and grinder pump installation, where applicable) shall be owned, operated and maintained by the homeowner.

## **VIII. HOMEOWNER'S COST OF USE**

The annual fee paid by the homeowner is \$57.02 per year for the connection to the municipal sewer system in addition to a fee of approximately \$270.00, based on the current flat-use fee from the County Sewer District.

*Exhibits A: General Site Overview*

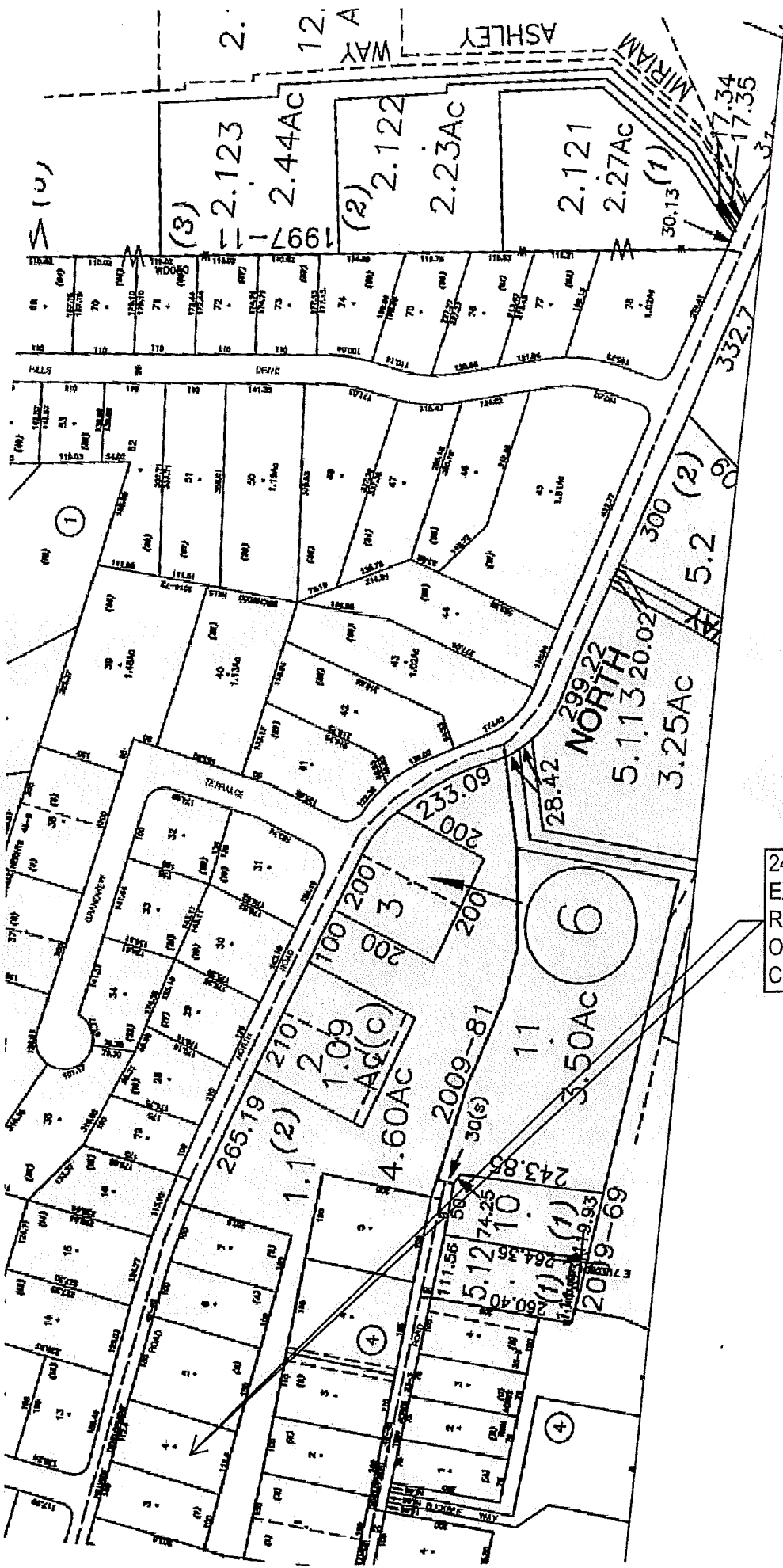
*Exhibit B: Joint Crossing Arrangement*

*Exhibit C: Sewer Connection Details – House Side*

*Exhibit D: Grinder Pump Details (if required)*

*Exhibit D1: Sanitary Sewer Service Connection Details (if required)*

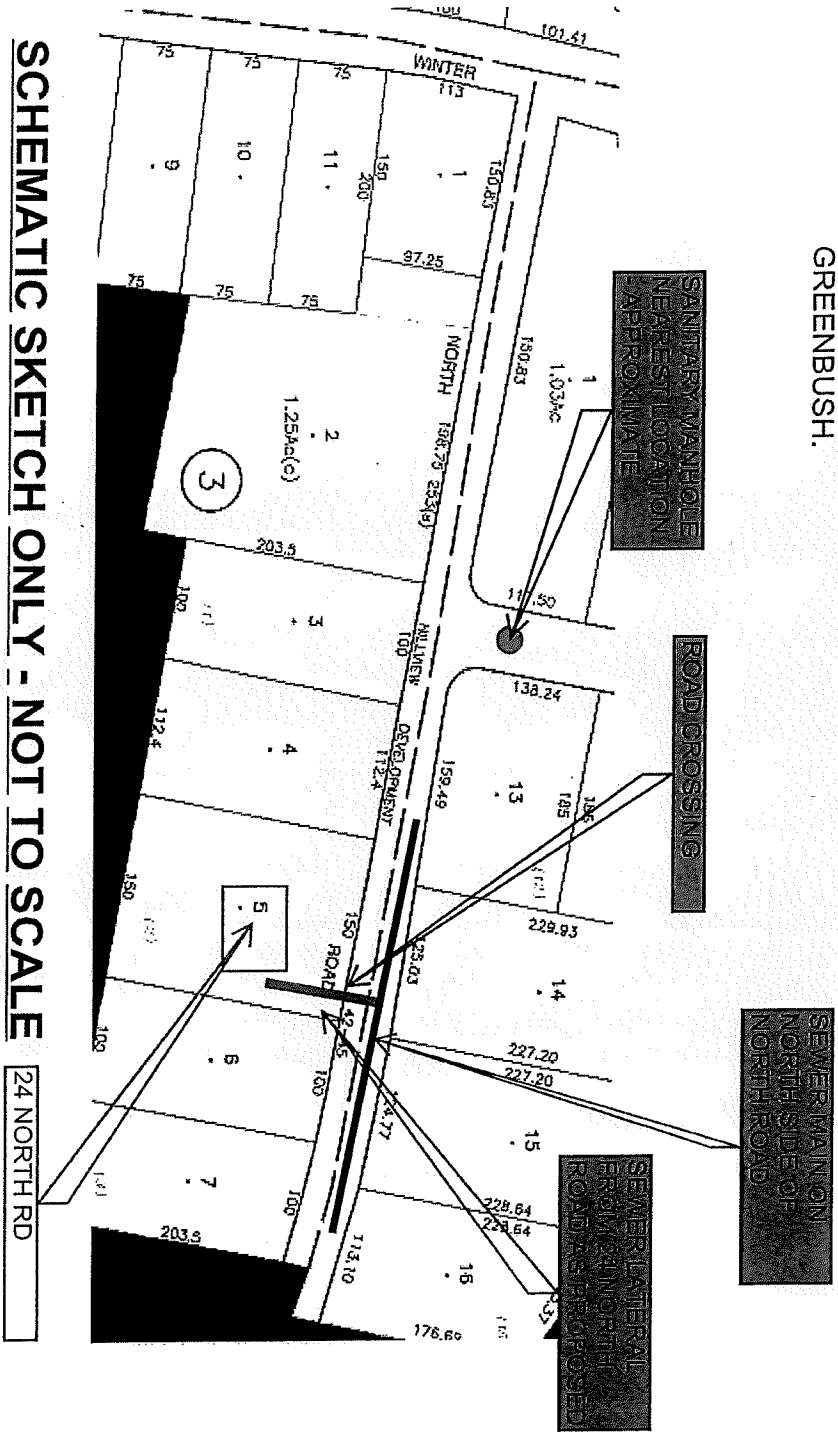
*Exhibit E: Pressure Sewer Drop Connection to Manhole (if required)*



24 NORTH ROAD  
 EXISTING  
 RESIDENCE UNDER  
 OWNERSHIP OF  
 CHARLES ERICKSON

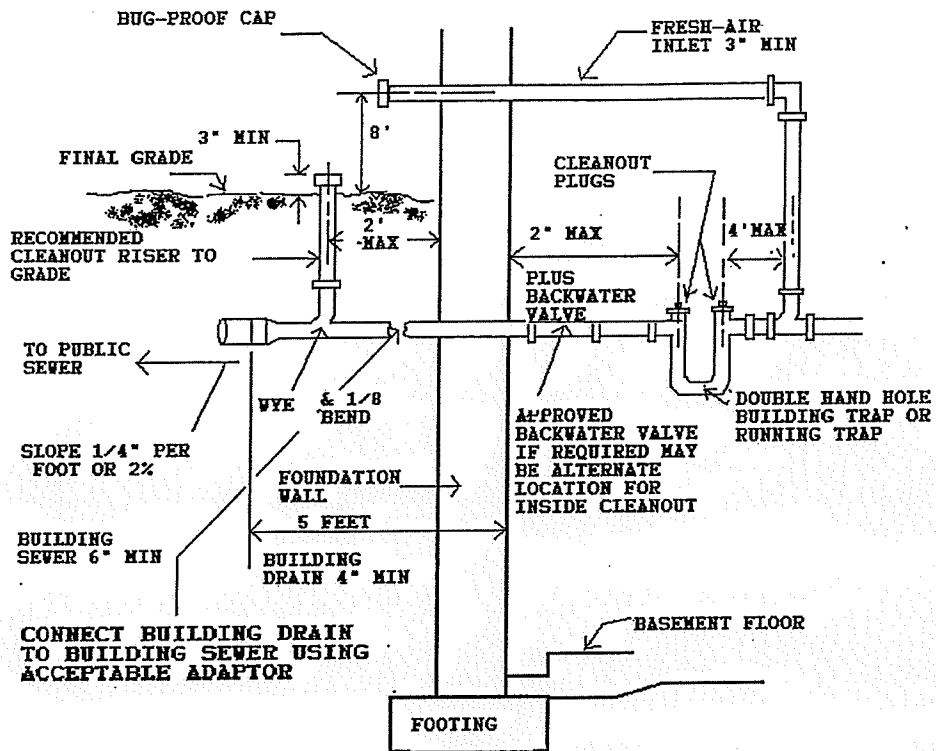
EXHIBIT A

NOTE: SCHEMATIC REPRESENTATION ONLY. DETAILS ARE APPROXIMATE. UFPD/DIGSAFE NY SHALL LOCATED ALL UNDERGROUND FACILITIES. LOCATIONS, METHODS AND ROUTES OF ROAD CROSSING SHALL BE AT THE DIRECTION OF THE TOWN OF GREENBUSH.



**SCHEMATIC SKETCH ONLY - NOT TO SCALE**

24 NORTH RD



NOTE: THIS DIAGRAM IS PURELY SCHEMATIC AND IS INTENDED TO REPRESENT MANY SITUATIONS WHICH MAY BE ENCOUNTERED DURING INSTALLATION OF YOUR SEWER CONNECTION

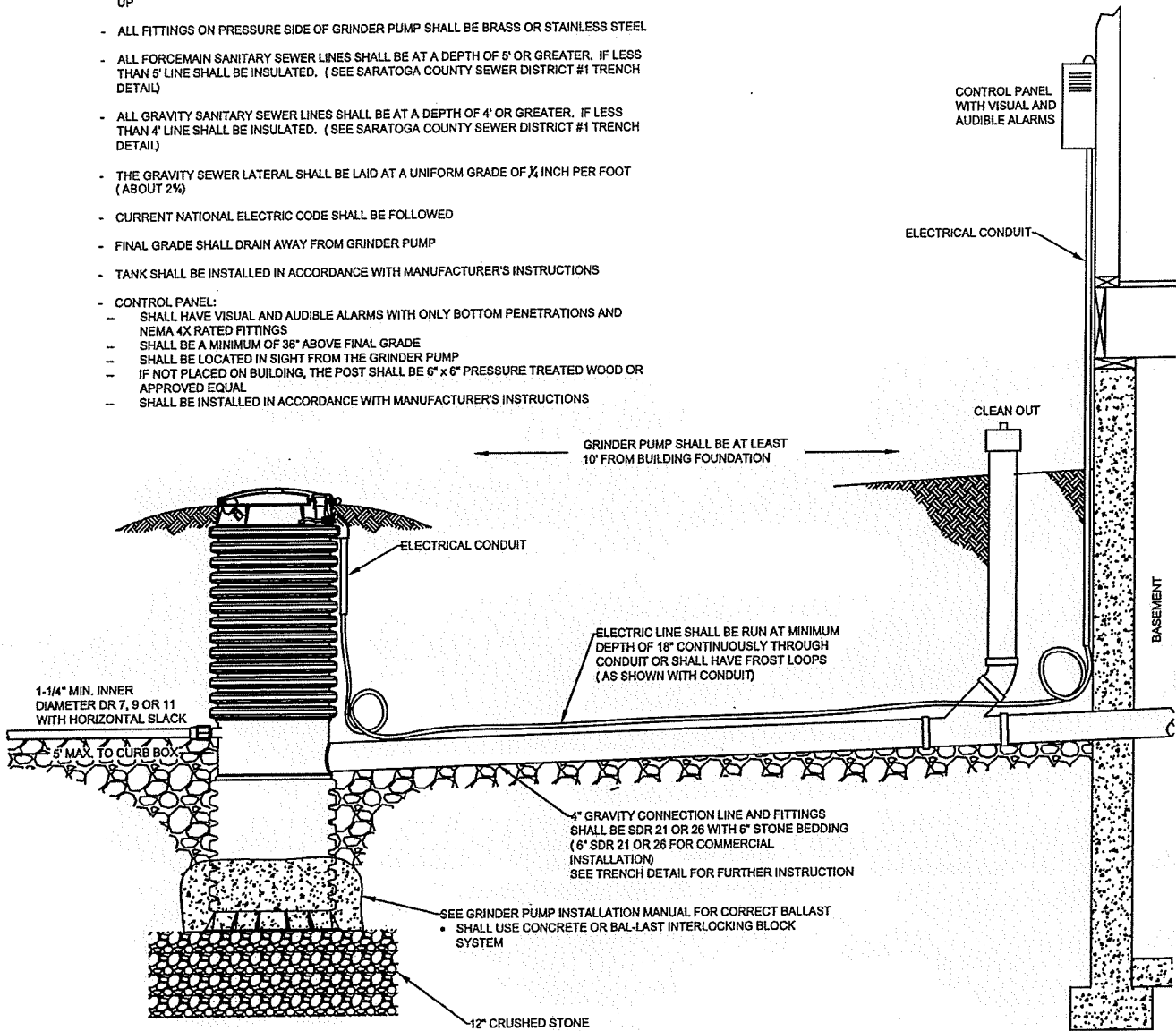
## SANITARY SEWER SERVICE CONNECTIONS- HOUSE SIDE

NTS

EXHIBIT C

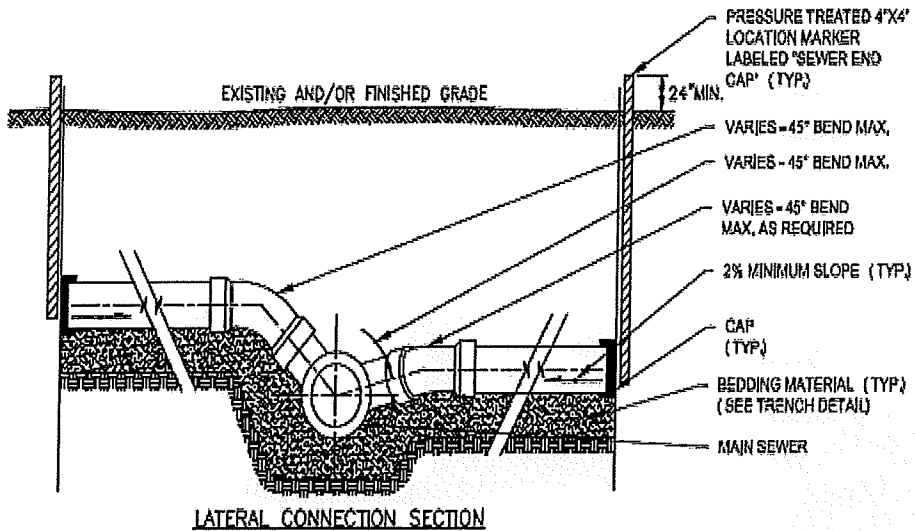
**NOTES:**

- THE PROPERTY OWNER WILL OWN AND MAINTAIN THE GRINDER PUMP SYSTEM TO POINT OF CONNECTION INTO SEWER MAIN.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING FLOW AND FINAL GRINDER PUMP START UP
- ALL FITTINGS ON PRESSURE SIDE OF GRINDER PUMP SHALL BE BRASS OR STAINLESS STEEL
- ALL FORCEMAIN SANITARY SEWER LINES SHALL BE AT A DEPTH OF 5' OR GREATER. IF LESS THAN 5' LINE SHALL BE INSULATED. (SEE SARATOGA COUNTY SEWER DISTRICT #1 TRENCH DETAIL)
- ALL GRAVITY SANITARY SEWER LINES SHALL BE AT A DEPTH OF 4' OR GREATER. IF LESS THAN 4' LINE SHALL BE INSULATED. (SEE SARATOGA COUNTY SEWER DISTRICT #1 TRENCH DETAIL)
- THE GRAVITY SEWER LATERAL SHALL BE LAID AT A UNIFORM GRADE OF 1/4" INCH PER FOOT (ABOUT 2%)
- CURRENT NATIONAL ELECTRIC CODE SHALL BE FOLLOWED
- FINAL GRADE SHALL DRAIN AWAY FROM GRINDER PUMP
- TANK SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
- CONTROL PANEL:
  - SHALL HAVE VISUAL AND AUDIBLE ALARMS WITH ONLY BOTTOM PENETRATIONS AND NEMA 4X RATED FITTINGS
  - SHALL BE A MINIMUM OF 36" ABOVE FINAL GRADE
  - SHALL BE LOCATED IN SIGHT FROM THE GRINDER PUMP
  - IF NOT PLACED ON BUILDING, THE POST SHALL BE 6" x 6" PRESSURE TREATED WOOD OR APPROVED EQUAL
  - SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

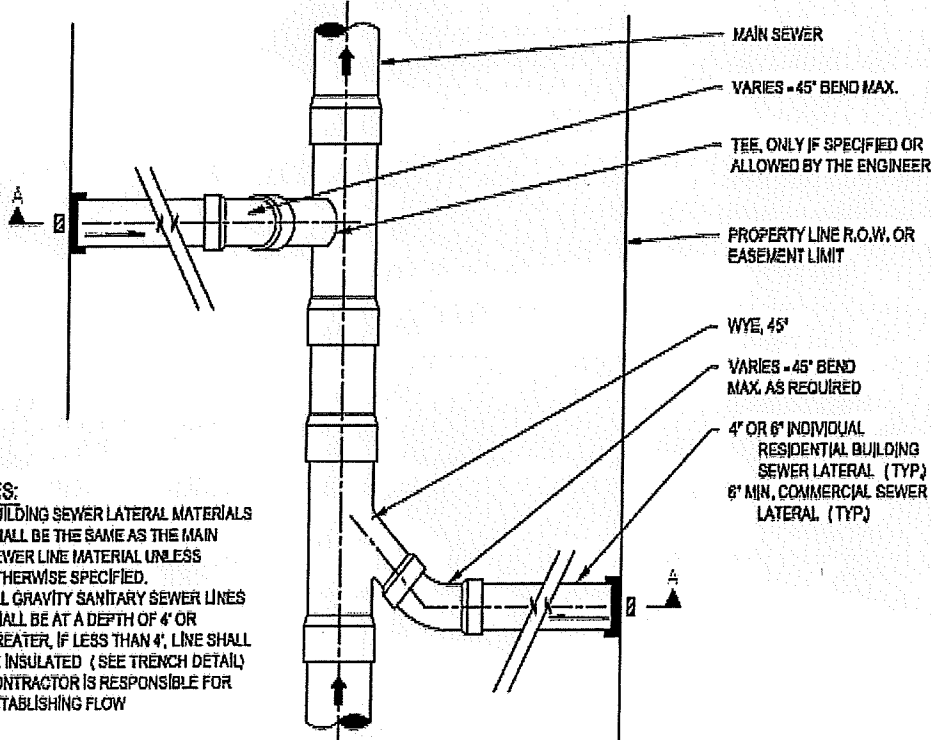


# GRINDER PUMP INSTALLATION

EXHIBIT D



LATERAL CONNECTION SECTION



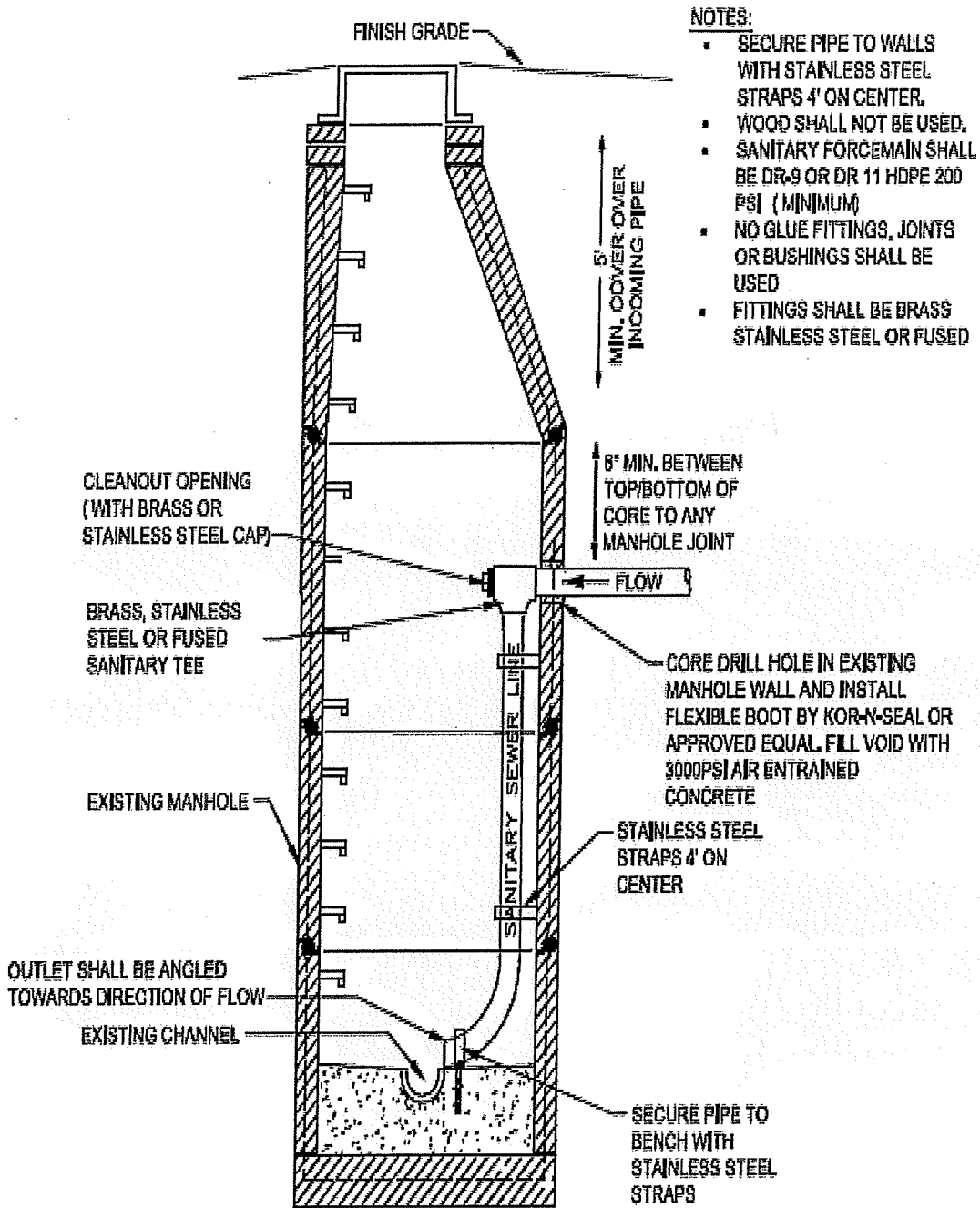
LATERAL CONNECTION PLAN

- NOTES:**
- BUILDING SEWER LATERAL MATERIALS SHALL BE THE SAME AS THE MAIN SEWER LINE MATERIAL UNLESS OTHERWISE SPECIFIED.
  - ALL GRAVITY SANITARY SEWER LINES SHALL BE AT A DEPTH OF 4' OR GREATER, IF LESS THAN 4', LINE SHALL BE INSULATED (SEE TRENCH DETAIL)
  - CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING FLOW

# SANITARY SEWER SERVICE CONNECTIONS

NTS

EXHIBIT D1



**PRESSURE SEWER DROP CONNECTION TO MANHOLE**

NTS

EXHIBIT E

Petitioner: Charles Erickson

24 North Road

Troy, NY 12180

By:

ACKNOWLEDGMENT

STATE OF NEW YORK }

}SS.:

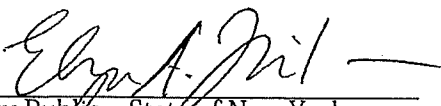
COUNTY OF RENSSELAER }

On this 10<sup>th</sup> day of July in the year two thousand and twenty-three before me, the undersigned, a notary public in and for said state, personally appeared Charles Erickson personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledge to me that he executed the same in his capacity and that by his signature on the instrument, the individual or the person upon behalf of which the individual acted, executed the instrument.



Charles Erickson

Homeowner



Notary Public - State of New York

My Commission Expires: 8/29/26

Elyse Arnold. Rintelman  
Notary Public, State of New York  
Qualified in Albany County  
No. 01R16439579  
Commission Expires August 29, 20